

4 N. Second Street Denton, MD 21629 410 479-3625

PLANNING COMMISSION REVIEW APPLICATION

		SITE PLAN:	
Review No.:	SP-21-005	Existing Building:	☐Yes ☐ No
Date filed:	3-1-202	Change of Use:	☐ Yes ☐ No
Date reviewed:		New Building:	Yes No
Fee collected:	\$2,000	Simplified: Concept:	☐Yes ☐No ☐Yes ☐No
Date paid:	3-1-2021	SUBDIVISION:	1 1 03 140
Tax Map/Parcel:	105/2363	Administrative:	☐ Yes ☐ No
Zoning:	RHC	Minor:	Tyes TNo
Critical Area:	「Yes ▼ No	Major:	「Yes □ No
Historic District:	Yes V No	Concept:	☐ Yes ☐ No
To the Denton Plan	ning Commssion		
Pursuant to the To	own of Denton Zoning Code for D	enton, MD request is hereby ma	ade for review
for the following pr	roperty:	w Diana marile of . In	
Owner: 5001 &	Route 404, south of Dento	IN PLANTAL I NOTHIN OF EXIST	ing shell station
	beria Ave, Suite 201, Mai	MATCAC VA 20110	SETT FEET & SET A CONTRACT CONTRACT A CONTRACT C
	356 · 5822 Work/Cell No		
	opping center - retail	J.	
	A STATE OF THE PARTY AND THE P		Salar A man daveloomi
	ton Plaza 11 - seeking app		
Contact Person:	II Marnock	Phone No. 410.267.86	21
CERTIFICATION:			
	this application fully including the		
and other supporting	g materials as may be required by	the Planning Department or fail	ure of the
	sentative to appear at the schedule the next regular scheduled meeting		
	re postponements. If the application		
	in a period of one year after the d		
of property, applican	nt assumes responsibility for payn	nent of fees and related charges.	
I am aware that I am	n responsible for the payment of a	all plan review and infrastructe	ıre
_	ch are billed on an hourly basis.	2	
Property Owner's Si	gnature:		/
Print / Type Name:	Kru M. Sus	Date: 2/25/	31
Applicant' Signature	: M		
(if not owner) Print / Type Name:	MIBORING, NERSOR	*	
rime, rybe isame:	A		

LEGEND

MAJOR CONTOURS ----40----

PROPOSED

GENERAL NOTES

MISS UTILITY

TOWN OF DENTON

McCRONE

THE CONTRACTOR'S EXPENSE

UTILITY COMPANIES INVOLVED:

CHOPTANK ELECTRIC COOPERATIVE

TOWN OF DENTON PUBLIC WORKS

UNIFORM TRAFFIC CONTROL DEVICES.

DEVIATION OF THE PLAN IS NECESSARY.

SEDIMENT CONTROL SPECIFICATIONS).

MARYLAND DEPARTMENT OF ENVIRONMENT

1. THE EXISTING UTILITIES SHOWN IN THESE DRAWINGS IS BASED ON BEST AVAILABLE INFORMATION. NO GUARANTEE TO THE ACCURACY OF THE LOCATION (HORIZONTAL OR VERTICAL) IS MADE BY THE ENGINEER. CONTRACTOR TO FIELD VERIFY AND TEST PIT AS NEEDED TO VERIFY THE LOCATION OF THE EXISTING UTILITIES. THIS SHALL BE DONE AS PART OF THE CONTRACT FOR THE WORK SHOWN IN THESE DRAWINGS.

ANY DAMAGE INCURRED TO SUCH UTILITIES SHALL BE REPAIRED IMMEDIATELY AT

2. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE

START OF CONSTRUCTION AND SHALL COORDINATE CONSTRUCTION WITH THE

3. THE CONTRACTOR SHALL CONTACT THE TOWN OF DENTON AT LEAST TWO (2) WEEKS

4. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, AND MATERIALS FOR

ANY MISCELLANEOUS OR TEST PIT EXCAVATIONS REQUIRED BY THE ENGINEER.

CONTRACTOR SHALL TEST PIT TO CONFIRM THE ACTUAL LOCATION OF ANY AND ALL

5. ALL CONSTRUCTION SHALL BE MARKED FOR TRAFFIC AND PEDESTRIAN SAFETY. ALL

SIGNS SHALL BE PLACED IN ACCORDANCE WITH SECTION VI OF THE MANUAL ON

6. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH

7. THE CONTRACTOR ASSUMES ALL RESPONSIBILITIES FOR ANY DEVIATIONS FROM

8. ALL DISTURBED AREAS SHALL BE SMOOTHLY GRADED TO PROVIDE POSITIVE

THESE PLANS, UNLESS SAID DEVIATION IS APPROVED BY THE ENGINEER. THE

CONTRACTOR SHALL RECEIVE WRITTEN PERMISSION FROM THE ENGINEER IF A

DRAINAGE IN THE DIRECTION OF FLOW ARROWS HEREIN AND STABILIZED WITH

TOPSOIL, SEED, AND MULCH. IF SETTLEMENT OCCURS, TOPSOIL, SEEDING AND

9. ALL TRASH, TREES, DEMOLITION DEBRIS, AND UNDERBRUSH ARE TO BE CLEARED

AND REMOVED OFF SITE TO AN APPROVED DUMP SITE BY THE CONTRACTOR.

CONSTRUCTION SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE

11. ANY EXISTING SURVEY MONUMENTATION THAT IS DISTURBED DURING

DENSITY AND LAID AND COMPACTED IN 8" MAXIMUM LIFTS.

ROUTES SHALL COMPLY WITH APPLICABLE ADA CRITERIA.

SHALL BE USED TO COMPLETELY COVER THE TRENCH.

10. ANY EXCESS EXCAVATED MATERIAL PLACED OUTSIDE OF THOSE AREAS DESIGNATED

12. ALL FILL AREAS WITHIN LIMITS OF BUILDING CONSTRUCTION AND PARKING AREAS AS

13. ALL SIDEWALKS, HANDICAP RAMPS, HANDICAP PARKING SPACES AND ACCESSIBLE

14. IF POSSIBLE, TRENCHES SHALL NOT REMAIN OPEN OVERNIGHT. IF IT IS NECESSARY

15. A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED ON ADJACENT ROADWAYS

16. ALL PVC, PE AND HDPE PIPE, OTHER THAN PIPE RUNS BETWEEN GRAVITY SEWER MANHOLES, SHALL HAVE A CONTINUOUS SINGLE STRAND, 8-GUAGE UNCOATED

INTO ALL METER PITS, VACUUM VALVE PITS, CLEANOUTS, AND DIVISION VALVE

DEPARTMENT OF PUBLIC WORKS (STORMWATER), AND THE SANITARY DISTRICT

(UTILITIES). RED LINES SHALL SHOW THE HORIZONTAL AND VERTICAL LOCATION OF

17. THE CONTRACTOR SHALL PROVIDE A SET OF RED-LINED AS-BUILTS TO THE

FOLLOWING ENTITIES AT THE COMPLETION OF CONSTRUCTION: OWNER,

ALL UNDERGROUND UTILITIES AS SURVEYED, BEFORE BEING BACKFILLED.

1. MAJOR SITE PLAN (INCLUDES STORMWATER MANAGEMENT PLAN) -

3. FINAL STORMWATER MANAGEMENT PLAN - TOWN OF DENTON

5. EROSION & SEDIMENT CONTROL - CAROLINE COUNTY SOIL

6. NOTICE OF INTENT - MARYLAND DEPARTMENT OF THE ENVIRONMENT

FOR TRENCHES TO REMAIN OPEN, STEEL PLATES, CAPABLE OF BEARING TRAFFIC,

DURING HOURS OF CONSTRUCTION, AND TWO WAY TRAFFIC AT ALL OTHER TIMES.

COPPER TRACER WIRE LOCATED BENEATH THE PIPE. THE WIRE SHALL BE STUBBED

DESIGNATED ON THESE PLANS SHALL BE COMPACTED TO 95% MODIFIED PROCTOR

ON THIS PLAN SHALL MEET APPROVAL OF CAROLINE COUNTY SOIL CONSERVATION

MULCHING SHALL BE REPEATED UNTIL SETTLEMENT SUBSIDES (SEE EROSION AND

THE TOWN OF DENTON DEVELOPMENT DESIGN STANDARDS.

EXISTING SANITARY DISTRICT FACILITIES AT EACH AND EVERY CROSSING AND TIE-IN.

1-800-375-7117

1-877-892-0001

1-800-441-8355

1-410-267-8621

1-410-901-4020

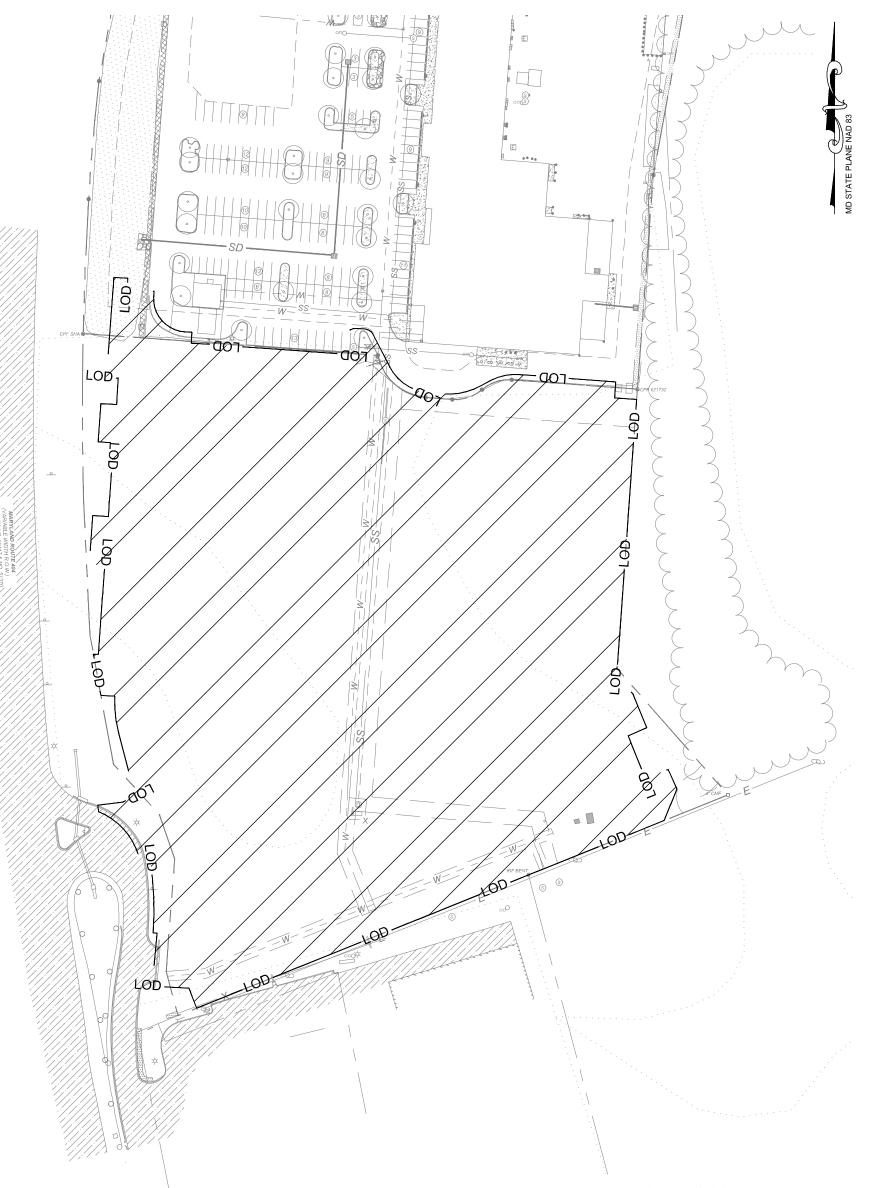
1-410-479-5446

1-410-479-2050

PRELIMINARY MAJOR SITE PLAN & STORMWATER MANAGEMENT PLAN

NEW RETAIL BUILDINGS DENTON PLAZA II

TOWN OF DENTON 3RD ELECTION DISTRICT, CAROLINE COUNTY, MARYLAND TAX MAP 105, GRID 23, PARCEL 2363



SITE CALCULATIONS

= REGIONAL HIGHWAY COMMERCIAL (RHC) ZONING SETBACKS = FRONT 50', REAR 20', SIDE 20'/30' = OPEN SPACE RESERVED LAND CURRENT USE = SHOPPING CENTER PROPOSED USE SITE AREA = 324,255 S.F. (7.44 AC± PROPOSED FLOOR AREA = 68,921 S.F.± = 320,961 S.F. (7.37 AC± AREA DISTURBED PROPOSED IMPERVIOUS AREA = 254,984 S.F. (5.85 AC±)

VEGETATIVELY STABILIZED AREA = $65,977 \text{ S.f.} (1.51 \text{ AC}\pm)$

SITE NOTES

- 1. PROPERTY SHOWN HEREON IS CURRENTLY DESIGNATED AS TAX MAP 105, GRID 23, PARCEL 2363.
- 2. FOR DEED REFERENCE FOR SEE 1444/81
- 3. THIS SITE IS ZONED RHC REGIONAL HIGHWAY COMMERCIAL.
- 5. PROPERTY LINES AND IMPROVEMENTS SHOWN HEREON ARE BASED ON AN ALTA

4. EXISTING USE - OPEN SPACE AND PROPOSED USE - SHOPPING CENTER.

- SURVEY PREPARED BY McCRONE DATED AUGUST 2018.
- 6. TOPOGRAPHY SHOWN HEREON WAS FIELD RUN BY McCRONE ON AUGUST 20, 2018 AND IS NAD 83 & NAVD 88. THERE ARE NO SLOPES GREATER THAN 15% ON THE SUBJECT PROPERTY
- 7. SOILS ON SITE CONSIST OF INGLESIDE SANDY LOAM, HURLOCK SANDY LOAM, AND URBAN LAND PER THE USDA WEB SOIL SURVEY OCTOBER 22, 2020. HURLOCK SANDY LOAM IS INDICATED AS A HYDRIC SOIL.
- 8. THIS SITE IS LOCATED WITHIN THE AREA OF MINIMAL FLOOD HAZARD (ZONE X) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S F.I.R.M. MAP FOR CAROLINE COUNTY, PANEL NOs. 24011C0227D & 24011C0164D, EFFECTIVE JANUARY 16, 2015.
- 9. THIS SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- 10. THIS SITE IS SERVED BY PUBLIC WATER AND SEWER.
- 11. STORMWATER MANAGEMENT IS TO BE PROVIDED ON-SITE.

OR ENDANGERED SPECIES ARE PRESENT ON SITE

SITE WILL OCCUR IN A SINGLE PHASE.

- 12. MAXIMUM PERMITTED BUILDING HEIGHT TALLEST PROPOSED STRUCTURE
- 13. PER AVAILABLE GIS DATA. THE SITE DOES NOT CONTAIN ANY OF THE FOLLOWING: NON-TIDAL WETLANDS, TIDAL WETLANDS, WOODLANDS, STREAMS OR STEEP SLOPES GREATER THAN 15%. AVAILABLE GIS DATA INDICATES THAT NO RARE, THREATENED
- 14. THE PROPOSED DEVELOPMENT IS COMMERCIAL AND WILL NOT IMPACT THE SCHOOL DISTRICT OR SCHOOL BUS SERVICE.
- 15. LANDSCAPING IS TO BE PROVIDED IN ACCORDANCE WITH THE TOWN OF DENTON CODE, CHAPTER 128, ARTICLE XVI, UNLESS MODIFIED AT THE TIME OF THE PRELIMINARY/FINAL ENGINEERING DESIGN.
- 16. NO WETLANDS APPEAR ON SITE. IF REQUIRED, A FORMAL WETLAND DELINEATION SHALL BE CONDUCTED, SURVEYED, AND APPROVED BY MDE PRIOR TO FINAL ENGINEERING AND CONSTRUCTION.
- 17. FOREST CONSERVATION IS PROPOSED TO BE PROVIDED FOR THE PROPOSED AREA
- OF DISTURBANCE WITH A FEE IN LIEU PAYMENT TO THE TOWN OF DENTON. 18. DEVELOPMENT OF THE PROPERTY WILL COMMENCE WHEN ALL REQUIRED APPROVALS AND PERMITS HAVE BEEN OBTAINED. DEVELOPMENT OF THE ENTIRE
- 19. ARCHITECTURAL AND SIGNAGE PLANS ARE TO BE INCLUDED UNDER SEPARATE

ENGINEER/SURVEYOR

ATTN: WILLIAM R. WARNOCK, P.E. 20 RIDGELY AVENUE ANNAPOLIS, MARYLAND 21401 PHONE: (410) 267-8621 x1011

OWNER/APPLICANT/DEVELOPER

ATTN: KEVIN SILLS 9161 LIBERIA AVENUE, SUITE 201 MANASSAS, VIRGINIA 20110 PHONE: (703) 257-1188

STATEMENT OF PURPOSE & INTENT

THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN APPROVALS FOR A SUBDIVISION OF THIS LOT INTO FOUR LOTS, AND TO PROPOSE FOUR NEW RETAIL BUILDINGS FOR THE FUTURE DENTON PLAZA II SHOPPING CENTER THE APPLICANT IS SEEKING MAJOR SITE PLAN APPROVAL AND MAJOR SUBDIVISION APPROVAL.

INDEX OF DRAWINGS

00.00	COVER SHEET
01.00-01.01	EXISTING CONDITIONS MAP
02.00-02.01	DEMOLITION PLAN
03.00-03.01 03.02-03.03	SITE LAYOUT PLAN SITE PARKING PLAN
04.00-04.01	GRADING PLAN
05.00-05.01	STORMWATER MANAGEMENT PLAN
06.00-06.01 06.02-06.03 06.04-06.05	EXISTING SITE DRAINAGE AREA MAP PROPOSED SITE DRAINAGE AREA MAP STORMWATER FACILITY DRAINAGE AREA MAP
07.00 07.01-07.08 07.09	STORM DRAIN PLAN - KEY SHEET STORM DRAIN PROFILES STORM DRAIN DETAILS
08.00	WATER PLAN - KEY SHEET

08.01-08.03 WATER PROFILES WATER DETAILS SANITARY SEWER PLAN - KEY SHEET SANITARY SEWER PROFILES 09.01-09.02

SANITARY SEWER DETAILS 10.00-10.01 LANDSCAPE PLAN

11.00-11.04 TURNING MOVEMENTS PLAN

OWNER'S CERTIFICATION

. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGES MADE ON THIS PLAN WITHOUT

WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE . ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING

FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.

STORMWATER MANAGEMENT NARRATIVE

REQUIRED REGULATORY APPROVALS

2. MAJOR SUBDIVISION PLAN - TOWN OF DENTON

4. FOREST CONSERVATION ACT - TOWN OF DENTON

CONSERVATION DISTRICT

THE SUBJECT PROPERTY IS LOCATED ALONG SHORE HIGHWAY (MD 404), SOUTH OF THE EXISTING DENTON PLAZA AND NORTH OF THE EXISTING SHELL STATION, IN THE TOWN OF DENTON, CAROLINE COUNTY, MARYLAND. THE PROPERTY IS CURRENTLY RESERVED OPEN SPACE (ZONED RHC).

THE SITE IS APPROXIMATELY 7.44 ACRES IN AREA WITH APPROXIMATELY 0.10 ACRES OF EXISTING IMPERVIOUS AREA ONSITE WHICH QUALIFIES THIS SITE FOR NEW DEVELOPMENT AS THERE IS LESS THAN 40% EXISTING IMPERVIOUS AREA; WITHIN THE LIMITS OF DISTURBANCE, 7.37 ACRES, THERE ARE 0.17 ACRES OF EXISTING IMPERVIOUS AREA. THE TOTAL PROPOSED IMPERVIOUS AREA IS 5.85 ACRES. SINCE THIS SITE IS OPEN SPACE, AND THIS IS A NEW DEVELOPMENT PROJECT, MCCRONE PROPOSES TO ADD ADEQUATE STORMWATER MANAGEMENT FACILITIES TO ACCOUNT FOR THE INCREASE IN IMPERVIOUS AREA ON THE SITE. MCCRONE PROPOSES TWENTY-THREE (23) MICRO-BIORETENTION AREAS ON SITE TO TREAT THIS STORMWATER, AS WELL AS UTILIZING SOME OF THE EXISTING STORM DRAIN SYSTEM IN THE EXISTING DENTON PLAZA TO THE

THE PROPOSED NEW DEVELOPMENT ADDS 5.85 ACRES OF IMPERVIOUS AREA WHICH EQUATES TO 53,199 CF OF TARGET ESDV. THE NEW DEVELOPMENT PROPOSES TWENTY-THREE (23) MICRO-BIORETENTIONS IN THE LAYOUT TO PROVIDE THE REQUIRED ESD VOLUME. THE MICRO-BIORETENTIONS PROVIDE A COMBINED 55,050 CF OF ESDV, WHICH EXCEEDS THE REQUIRED ESDV BY 1,851

AS-BUILT CERTIFICATION

INFORMATION SHOWN ON THESE PLANS IN RED LETTERING REPRESENTS THE ACTUAL LOCATION OF CONSTRUCTED FEATURES AS BUILT ON SITE AND FIELD LOCATED BY

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THE "ASBUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

CONSULTANT'S CERTIFICATION

1 inch = 100 ft.

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THE PLAN, I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CAROLINE COUNTY SCD PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE

OWNER/DEVELOPER. MD P.E. LICENSE # 16991 MD LAND SURVEYOR LICENSE # FIRM NAME McCRONE

MD LANDSCAPE ARCHITECT#_ NAME WILLIAM R. WARNOCK

ADDRESS 20 RIDGELY AVENUE CITY ANNAPOLIS STATE MD ZIP CODE 21401

TOWN OF DENTON APPROVALS

TOWN OF DENTON CONSULTANT ENGINEER

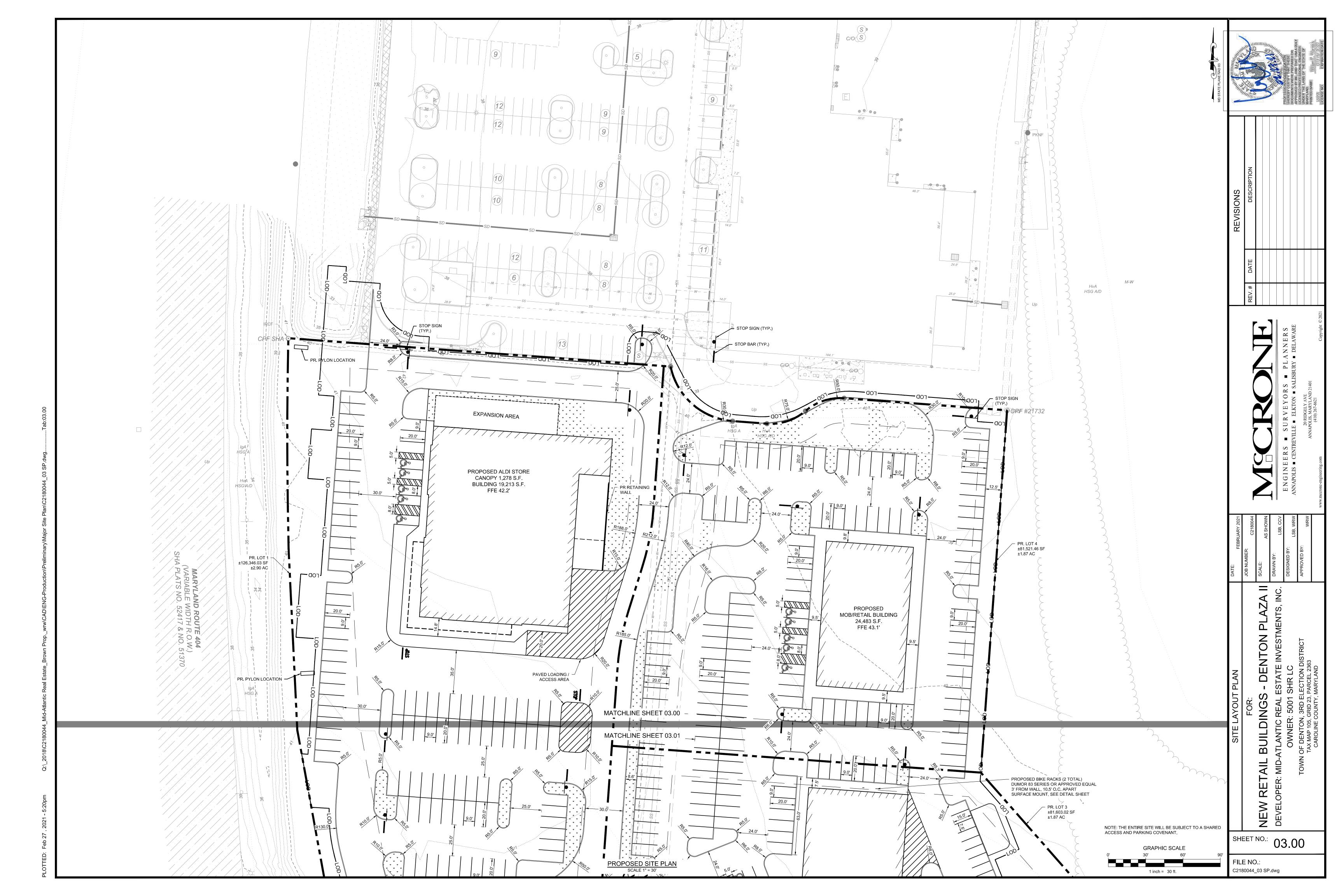
THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF DENTON PLANNING COMMISSION, DEPARTMENT OF PLANNING & CODES, DEPARTMENT OF PUBLIC WORKS AND CONSULTANT ENGINEER AND MEETS MEETS TECHNICAL REQUIREMENTS.

DATE TOWN OF DENTON PLANNING COMMISSION CHAIRPERSON TOWN OF DENTON DIRECTOR OD PLANNING & CODES

DATE TOWN OF DENTON DIRECTOR OF PUBLIC WORKS APPROVED:

4 SHEET NO.: 00.00

FILE NO.: C2180044_00 CO.dwg





1 - NORTH ELEVATION

Scale: 3/32" = 1'-0"



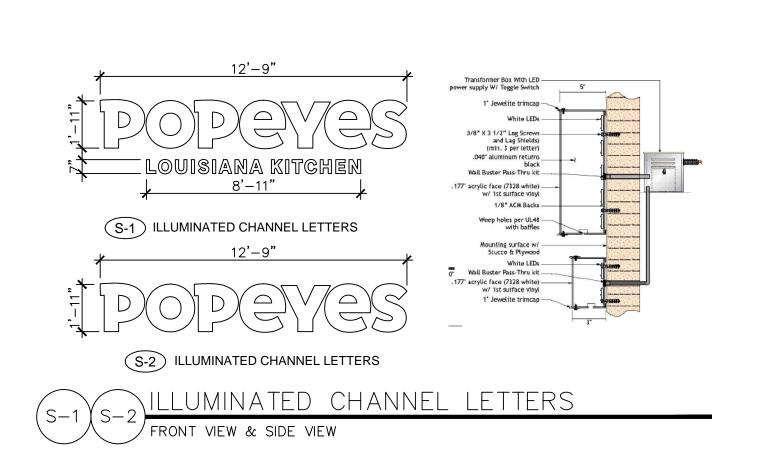
2 - SOUTH ELEVATION

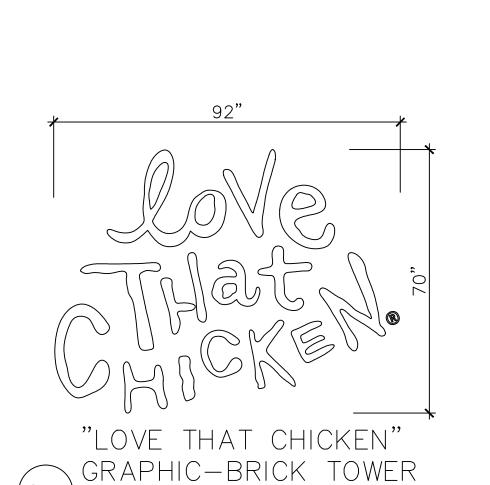
Scale: 3/32" = 1'-0"

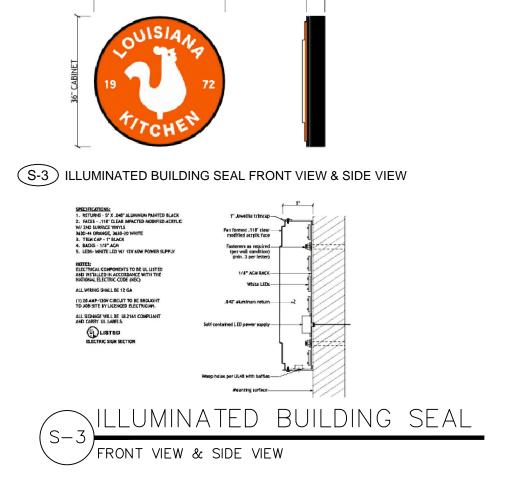


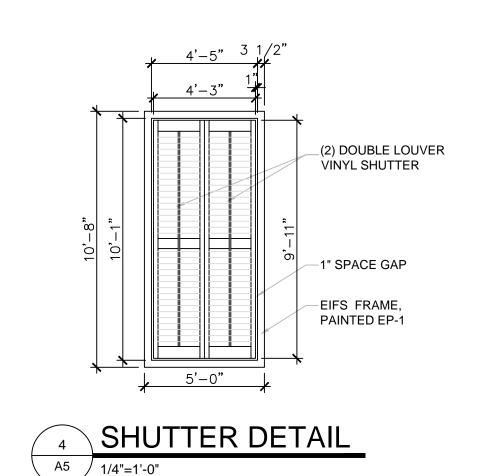
11420 Albemarle Point Place, Suite 230 Chantilly, VA 20151 703.378.7991 DENTON PLAZA Comprehensive Sign Plan - Phase II Revised 20 August 2020 Shopping center APPENDIX "B" - PAGE 3

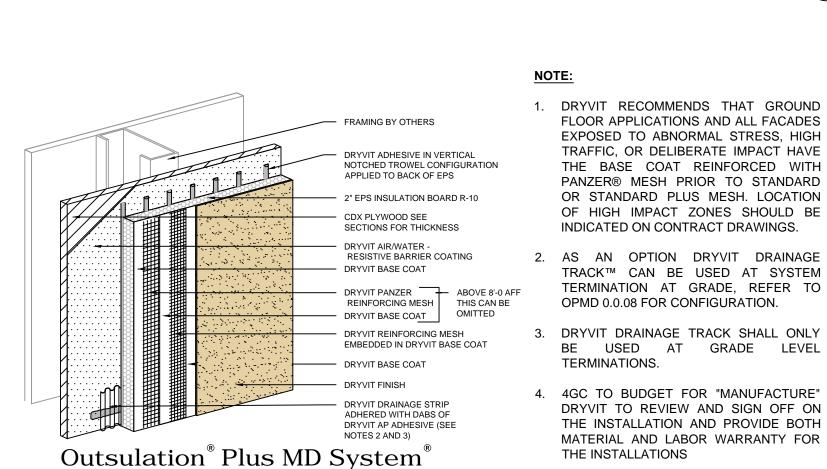










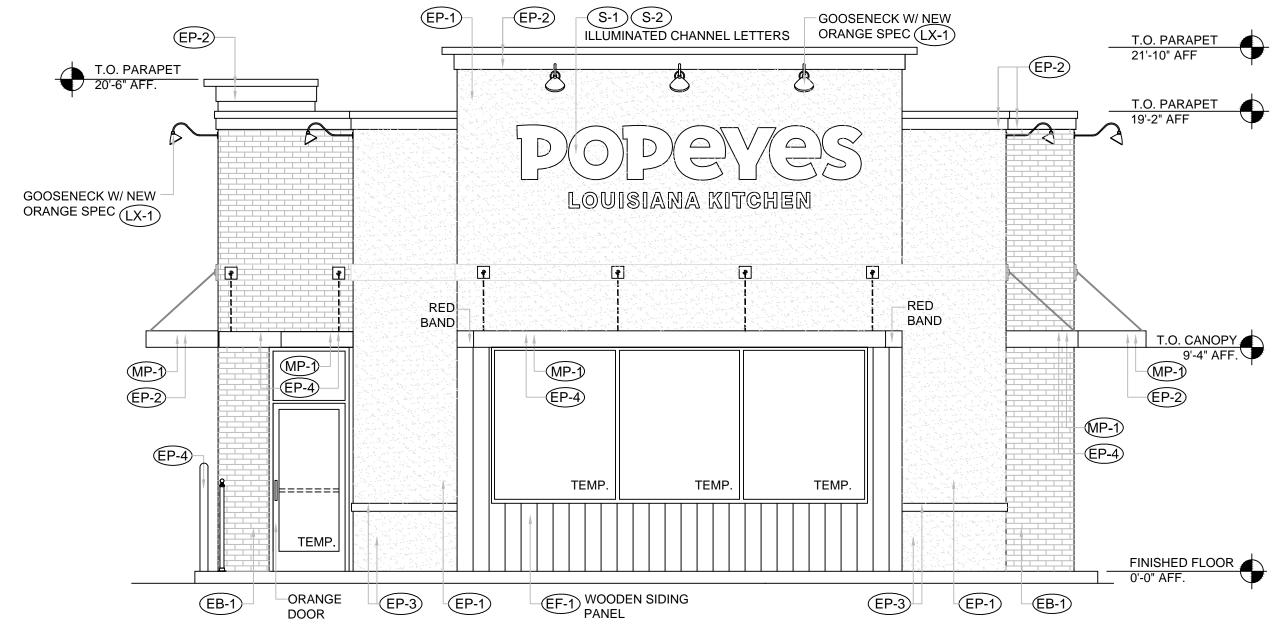


RECOMMENDS THAT GROUND APPLICATIONS AND ALL FACADES		
ED TO ABNORMAL STRESS, HIGH	PRODUCT DESCRIPTION	TABS TI TABS T
C, OR DELIBERATE IMPACT HAVE ASE COAT REINFORCED WITH R® MESH PRIOR TO STANDARD ANDARD PLUS MESH. LOCATION SH IMPACT ZONES SHOULD BE TED ON CONTRACT DRAWINGS.	INTENDED USE QUALITY OF STEEL PANEL NOMINAL PANEL THICKNESS CORROSION PROTECTION PANEL COATING EMBOSSED STEEL PANEL STARTER ANGLE THERMAL INSULATED PROTECTION	HEAVY DUTY STRUCTURAL G .018/26 GAUGE G90 HOT DIPPEI THERMAL SET INCLUDED TABS II 18 to 22 (R-2.5 to R-10
N OPTION DRYVIT DRAINAGE M CAN BE USED AT SYSTEM ATION AT GRADE, REFER TO .0.08 FOR CONFIGURATION.	PATENTED TABS II TIE SYSTEM MORTAR MIX MORTAR ADDITIVE ADHESIVE FASTENERS	INCLUDED TYPE "S" TABS II TABS II NON-CO

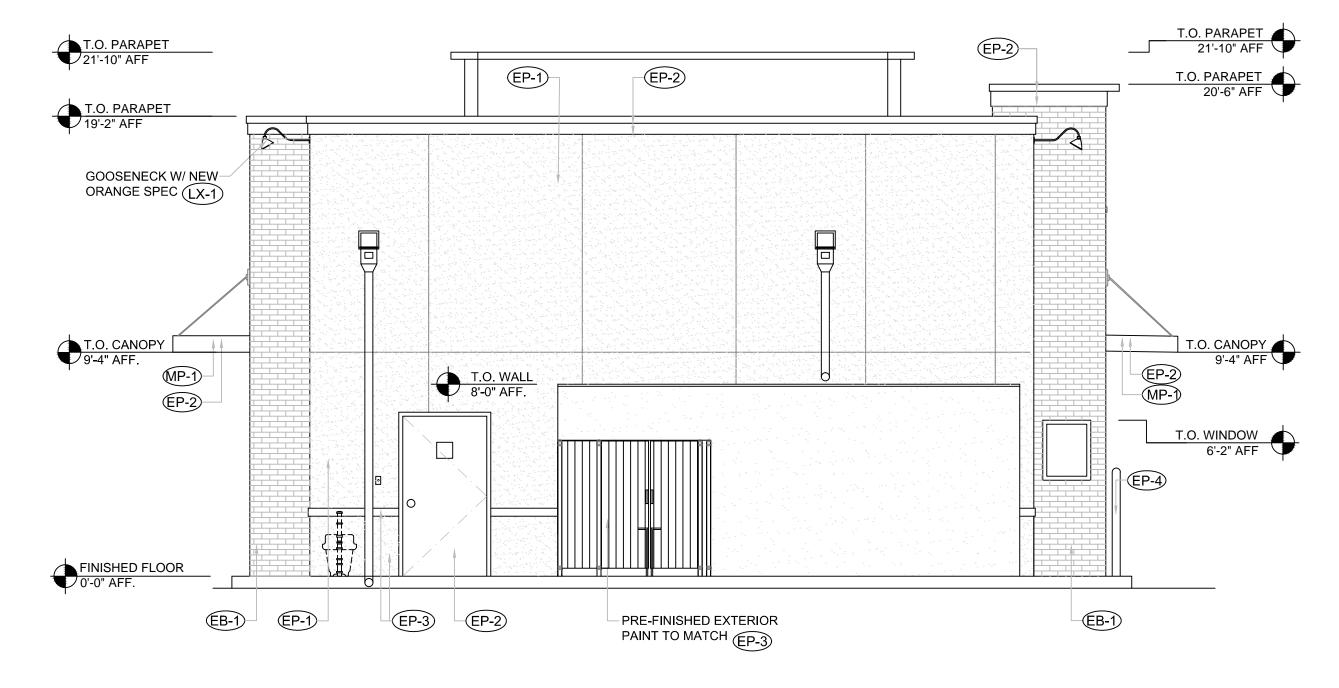
BE USED	AT	GRADE	LEVEL		
TERMINATIONS.					
4GC TO BUDGE					VENEE
DRYVIT TO REVIEW AND SIGN OFF ON THE INSTALLATION AND PROVIDE BOTH					1/2'
MATERIAL AND	LABOR	WARRANT	Y FOR		3/4'
THE INSTALLATION	SNC				1"

PRODUCT DESCRIPTION	TABS TI TABS TI PLUS
INTENDED USE	HEAVY DUTY
QUALITY OF STEEL PANEL	STRUCTURAL GRADE
NOMINAL PANEL THICKNESS	.018/26 GAUGE
CORROSION PROTECTION	G90 HOT DIPPED
PANEL COATING	THERMAL SET
EMBOSSED STEEL PANEL	INCLUDED
STARTER ANGLE	TABS II 18 to 22 GAUGE
THERMAL INSULATED PROTECTION	R-2.5 to R-10
PATENTED TABS II TIE SYSTEM	INCLUDED
MORTAR MIX	TYPE "S"
MORTAR ADDITIVE	TABS II
ADHESIVE	TABS II
FASTENERS	TABS II NON-CORROSIVE
COMPONENT WARRANTY	FULL 25 YEARS
PANEL WARRANTY	FULL 50 YEARS

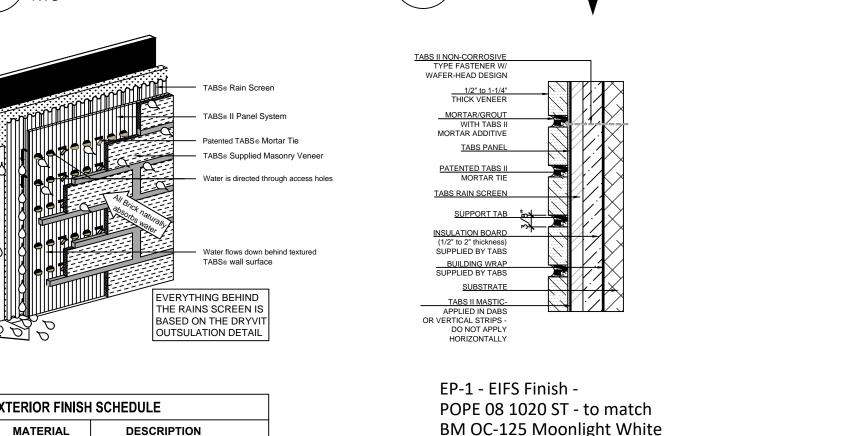
INSULATION CHARTS				
VENEER THICKNESS	INSULATION THICKNESS	R-VALUE		
1/2" VENEER	UP TO 2"	R-2.5 to R-10		
3/4" VENEER	UP TO 1.5"	R-2.5 to R-7.5		
1" VENEER	UP TO 1"	R-2.5 to R-5		



PROPOSED FRONT ELEVATION PB-2 1/4"=1'-0"

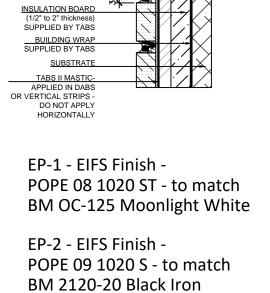






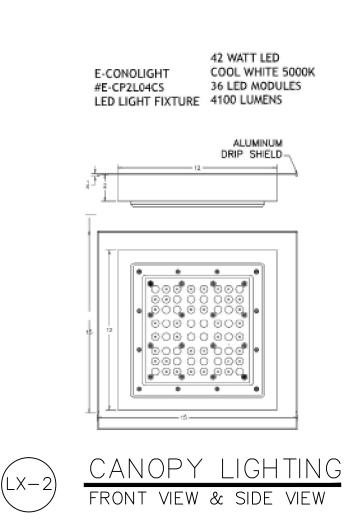
EXTERIOR FINISH SCHEDULE			
CODE	MATERIAL	DESCRIPTION	
EP-1	EXTERIOR PAINT	"WHITE" OC-125 Moonlight White	
EP-2	EXTERIOR PAINT	"BLACK" 2120-20 Black Iron	
EP-3	EXTERIOR PAINT	"GRAY" HC-170 Stonington Gray	
EP-4	EXTERIOR PAINT	"RED" 2086-10 Exotic Red	
EF-1	WOODEN SIDING PANEL	CEDAR -Vintage Wood	
EB-1	BRICK	FLAGSTAFF	
MP-1	METAL PANEL	"BLACK" 2120-20 Black Iron	

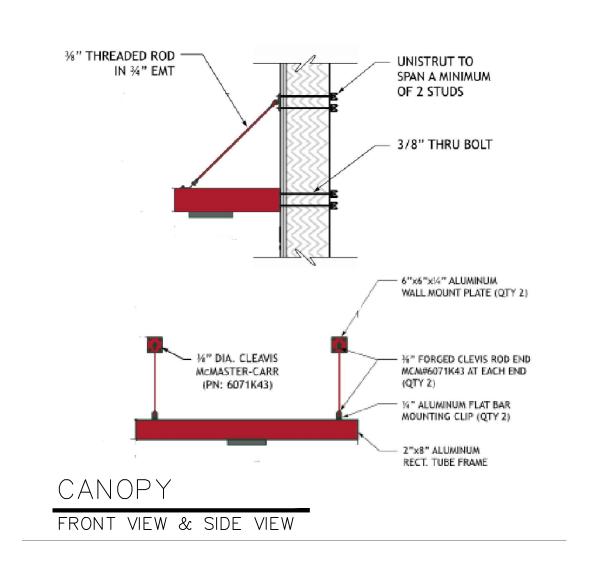
3A TYP. EIFS DETAIL



TYP. BRICK DETAIL

EP-3 - EIFS Finish -	
POPE 02 1020 S - to matcl	1
BM 2086-10 Exotic Red	







Checked By

AS NOTED

21-00000

PB-2

G 141 ARCHITECTURE LLC

ROBERT ANTHON GRIMALDI

39 NORTH 11th STREE

KENILWORTH, NJ 07033

g141office@gmail.com

9083477419

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Al 15475 04842 039330 ARC.2018210 AR07639

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