



**PLANNING AND CODES**  
TOWN OF DENTON

4 N. Second Street  
Denton, MD 21629  
410 479-3625

**PLANNING COMMISSION REVIEW APPLICATION**

Review No.: SP-21-005  
Date filed: 3-1-2021  
Date reviewed: \_\_\_\_\_  
Fee collected: \$2,000  
Date paid: 3-1-2021  
Tax Map/Parcel: 105/2363  
Zoning: RHC  
Critical Area:  Yes  No  
Historic District:  Yes  No

**SITE PLAN:**

Existing Building:  Yes  No  
Change of Use:  Yes  No  
New Building:  Yes  No  
Simplified:  Yes  No  
Concept:  Yes  No

**SUBDIVISION:**

Administrative:  Yes  No  
Minor:  Yes  No  
Major:  Yes  No  
Concept:  Yes  No

To the Denton Planning Commission

Pursuant to the Town of Denton Zoning Code for Denton, MD request is hereby made for review for the following property:

Location: along Route 404, south of Denton Plaza, north of existing Shell station

Owner: 5001 SHR LC

Address: 9161 Liberia Ave, Suite 201, Manassas, VA 20110

Phone No.: 410-356-5822 Work/Cell No: \_\_\_\_\_

Proposed Use: shopping center - retail

Comments: Denton Plaza II - seeking approval for proposed subdivision & new development of retail building

Contact Person: Bill Warnock Phone No. 410-267-8621

**CERTIFICATION:**

Failure to complete this application fully including the attachment of scaled construction plans and other supporting materials as may be required by the Planning Department or failure of the applicant or a representative to appear at the scheduled meeting will result in postponement of the application until the next regular scheduled meeting. The application may be dismissed if there are two or more postponements. If the application is denied, the same application shall not be renewed within a period of one year after the denial. If applicant is different from owner of property, applicant assumes responsibility for payment of fees and related charges.

I am aware that I am responsible for the payment of all plan review and infrastructure inspection fees which are billed on an hourly basis.

Property Owner's Signature: \_\_\_\_\_

Print / Type Name: Kevin M. Sus

Date: 2/25/21

Applicant's Signature: \_\_\_\_\_

(if not owner)

Print / Type Name: MARK R. WARRICK

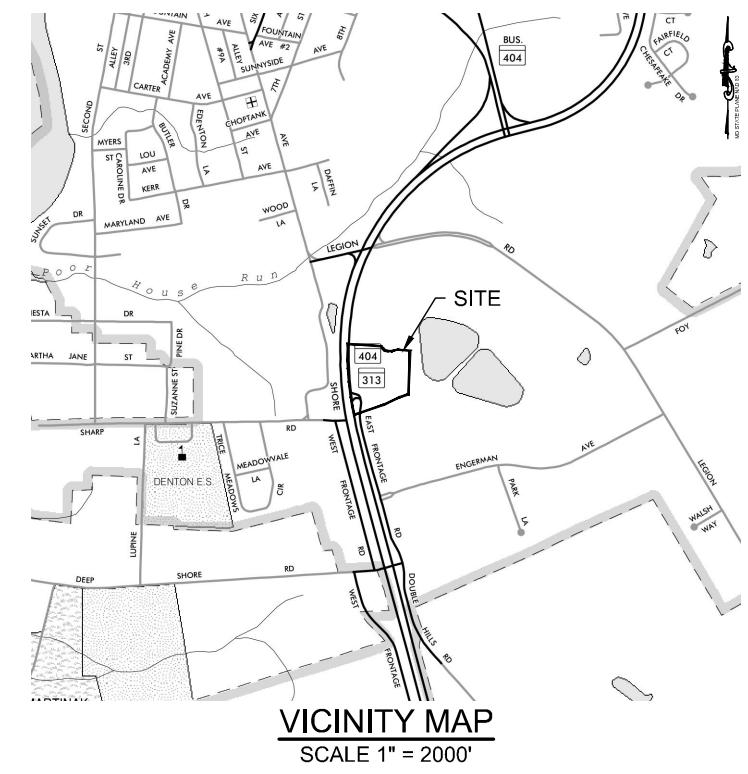
C:\\_2018\02180044\_Mfg-Atlantic-Real Estate\_Brown Prop\_wmv\CAD\ENG-Production\ Preliminary\ Major Site Plan\ 02180044\_00\_CO.dwg.....Tab:00.00

PLOTTED: Feb 27, 2021 - 5:19pm

LEGEND table with columns for EXISTING and PROPOSED features like MAJOR CONTOURS, EASEMENT LINE, BUILDING STRUCTURE, etc.

PRELIMINARY MAJOR SITE PLAN & STORMWATER MANAGEMENT PLAN FOR NEW RETAIL BUILDINGS DENTON PLAZA II

TOWN OF DENTON 3RD ELECTION DISTRICT, CAROLINE COUNTY, MARYLAND TAX MAP 105, GRID 23, PARCEL 2363



VICINITY MAP SCALE 1" = 2000'

GENERAL NOTES

- 1. THE EXISTING UTILITIES SHOWN IN THESE DRAWINGS IS BASED ON BEST AVAILABLE INFORMATION. NO GUARANTEE TO THE ACCURACY OF THE LOCATION (HORIZONTAL OR VERTICAL) IS MADE BY THE ENGINEER... 2. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION... 3. THE CONTRACTOR SHALL CONTACT THE TOWN OF DENTON AT LEAST TWO (2) WEEKS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING...

Contact information table for utility companies: DELMARVA POWER, CHOCTAWK ELECTRIC COOPERATIVE, MISS UTILITY, McCRONE, MARYLAND DEPARTMENT OF ENVIRONMENT, TOWN OF DENTON PUBLIC WORKS, TOWN OF DENTON.

SITE CALCULATIONS

Table of site calculations including CURRENT ZONING (REGIONAL HIGHWAY COMMERCIAL (RHC)), PROPOSED USE (SHOPPING CENTER), SITE AREA (324,255 S.F. (7.44 AC±)), etc.

SITE NOTES

- 1. PROPERTY SHOWN HEREON IS CURRENTLY DESIGNATED AS TAX MAP 105, GRID 23, PARCEL 2363. 2. FOR DEED REFERENCE FOR SEE 1444/81. 3. THIS SITE IS ZONED RHC - REGIONAL HIGHWAY COMMERCIAL. 4. EXISTING USE - OPEN SPACE AND PROPOSED USE - SHOPPING CENTER...

ENGINEER/SURVEYOR

McCRONE ATTN: WILLIAM R. WARNOCK, P.E. 20 RIDGELY AVENUE ANNAPOLIS, MARYLAND 21401 PHONE: (410) 257-8621 x1011

OWNER/APPLICANT/DEVELOPER

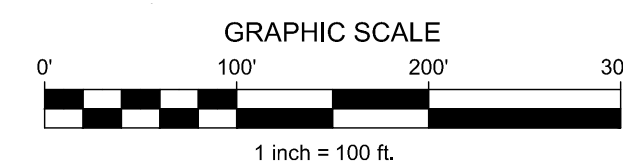
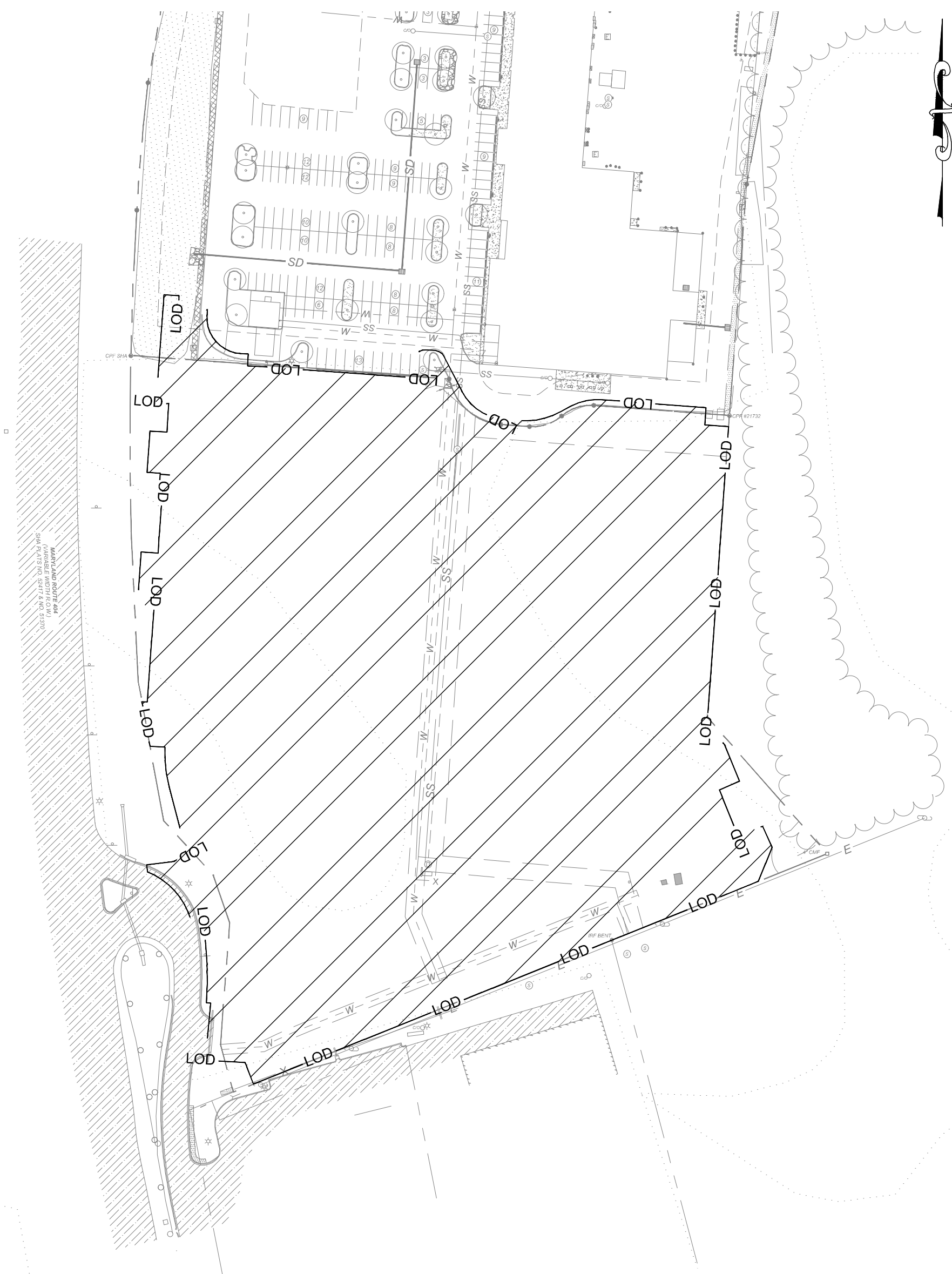
5001 SHR LC ATTN: KEVIN SILLS 9167 LIBERIA AVENUE, SUITE 201 MANASSAS, VIRGINIA 20110 PHONE: (703) 257-1188

STATEMENT OF PURPOSE & INTENT

THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN APPROVALS FOR A SUBDIVISION OF THIS LOT INTO FOUR LOTS, AND TO PROPOSE FOUR NEW RETAIL BUILDINGS FOR THE FUTURE DENTON PLAZA II SHOPPING CENTER...

INDEX OF DRAWINGS

Table listing drawing sheets and their descriptions: 00.00 COVER SHEET, 01.00-01.01 EXISTING CONDITIONS MAP, 02.00-02.01 DEMOLITION PLAN, etc.



SITE MAP SCALE 1" = 100'

REQUIRED REGULATORY APPROVALS

- 1. MAJOR SITE PLAN (INCLUDES STORMWATER MANAGEMENT PLAN) - TOWN OF DENTON 2. MAJOR SUBDIVISION PLAN - TOWN OF DENTON 3. FINAL STORMWATER MANAGEMENT PLAN - TOWN OF DENTON 4. FOREST CONSERVATION ACT - TOWN OF DENTON 5. EROSION & SEDIMENT CONTROL - CAROLINE COUNTY SOIL CONSERVATION DISTRICT 6. NOTICE OF INTENT - MARYLAND DEPARTMENT OF THE ENVIRONMENT

STORMWATER MANAGEMENT NARRATIVE

THE SUBJECT PROPERTY IS LOCATED ALONG SHORE HIGHWAY (MD 404), SOUTH OF THE EXISTING DENTON PLAZA AND NORTH OF THE EXISTING SHELL STATION, IN THE TOWN OF DENTON, CAROLINE COUNTY, MARYLAND. THE PROPERTY IS CURRENTLY RESERVED OPEN SPACE (ZONED RHC).

THE SITE IS APPROXIMATELY 7.44 ACRES IN AREA WITH APPROXIMATELY 0.10 ACRES OF EXISTING IMPERVIOUS AREA ON SITE WHICH QUALIFIES THIS SITE FOR NEW DEVELOPMENT AS THERE IS LESS THAN 40% EXISTING IMPERVIOUS AREA WITHIN THE LIMITS OF DISTURBANCE. 7.37 ACRES, THERE ARE 0.17 ACRES OF EXISTING IMPERVIOUS AREA. THE TOTAL PROPOSED IMPERVIOUS AREA IS 5.85 ACRES. SINCE THIS SITE IS OPEN SPACE, AND THIS IS A NEW DEVELOPMENT PROJECT, McCRONE PROPOSES TO ADD ADEQUATE STORMWATER MANAGEMENT FACILITIES TO ACCOUNT FOR THE INCREASE IN IMPERVIOUS AREA ON THE SITE.

THE PROPOSED NEW DEVELOPMENT ADDS 5.85 ACRES OF IMPERVIOUS AREA WHICH EQUATES TO 53,199 CF OF TARGET ESDV. THE NEW DEVELOPMENT PROPOSES TWENTY-THREE (23) MICRO-BIoretentions IN THE LAYOUT TO PROVIDE THE REQUIRED ESD VOLUME. THE MICRO-BIoretentions PROVIDE A COMBINED 55,350 CF OF ESDV, WHICH EXCEEDS THE REQUIRED ESDV BY 1,851 CF.

AS-BUILT CERTIFICATION

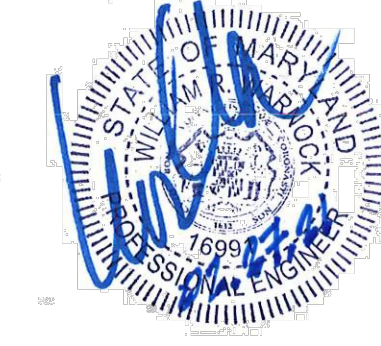
NOTE: INFORMATION SHOWN ON THESE PLANS IN RED LETTERING REPRESENTS THE ACTUAL LOCATION OF CONSTRUCTED FEATURES AS BUILT ON SITE AND FIELD LOCATED BY McCRONE ON

I HEREBY CERTIFY THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS. P.E. No. DATE PRINT NAME DATE

CONSULTANT'S CERTIFICATION

THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS ADEQUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY COVERED BY THE PLAN. I CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CAROLINE COUNTY SCD PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE OWNER/DEVELOPER.

MD P.E. LICENSE # 16991 MD LAND SURVEYOR LICENSE # MD LANDSCAPE ARCHITECT # NAME: WILLIAM R. WARNOCK FIRM NAME: McCRONE ADDRESS: 20 RIDGELY AVENUE CITY: ANNAPOLIS STATE: MD ZIP CODE: 21401



OWNER'S CERTIFICATION

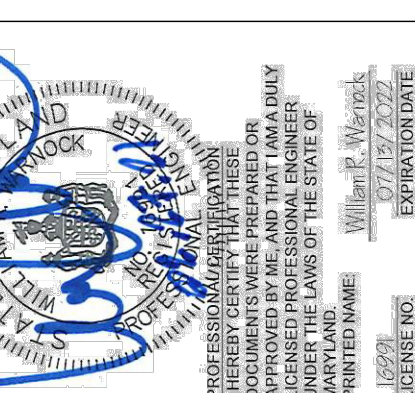
SIGNATURE DATE

- 1. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR OR SUBCONTRACTOR TO NOTIFY THE ENGINEER OF ANY DEVIATION FROM THIS PLAN. ANY CHANGES MADE ON THIS PLAN WITHOUT WRITTEN AUTHORIZATION FROM THE ENGINEER WILL PLACE RESPONSIBILITY FOR SAID CHANGE ON THE CONTRACTOR OR SUBCONTRACTOR. 2. ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATION OF ATTENDANCE AT THE DEPARTMENT OF ENVIRONMENT APPROVED TRAINING FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT.

TOWN OF DENTON APPROVALS

THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF DENTON PLANNING COMMISSION, DEPARTMENT OF PLANNING & CODES, DEPARTMENT OF PUBLIC WORKS AND CONSULTANT ENGINEER AND MEETS MEETS TECHNICAL REQUIREMENTS.

Table for approvals: APPROVED: TOWN OF DENTON PLANNING COMMISSION CHAIRPERSON DATE, TOWN OF DENTON DIRECTOR OF PLANNING & CODES DATE, TOWN OF DENTON DIRECTOR OF PUBLIC WORKS DATE, TOWN OF DENTON CONSULTANT ENGINEER DATE.



REVISIONS

Table with columns: REV. #, DATE, DESCRIPTION

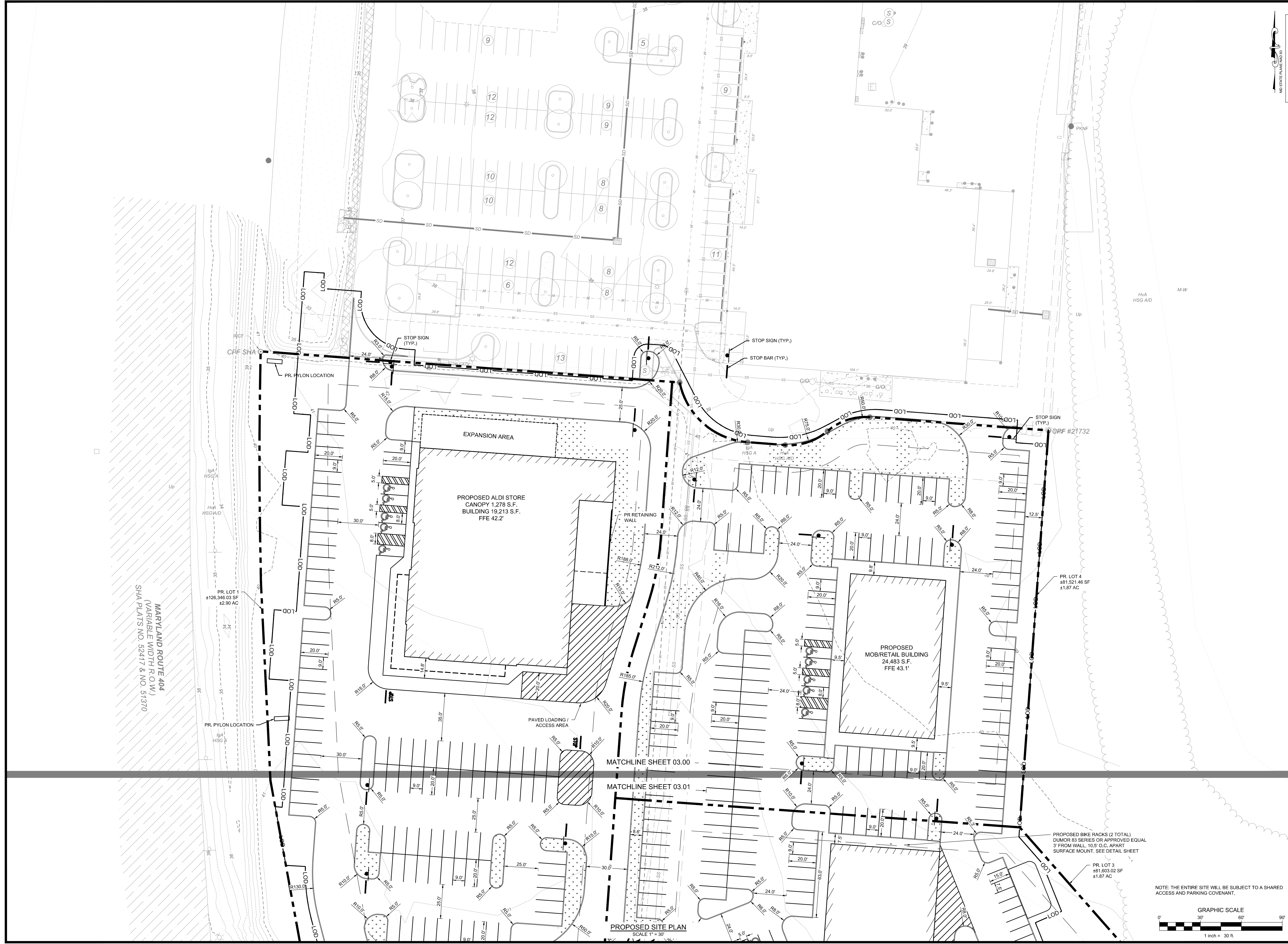
COVER SHEET FOR: NEW RETAIL BUILDINGS - DENTON PLAZA II

DEVELOPER: MID-ATLANTIC REAL ESTATE INVESTMENTS, INC. OWNER: 5001 SHR LC TOWN OF DENTON, 3RD ELECTION DISTRICT TAX MAP 105, GRID 23, PARCEL 2363 CAROLINE COUNTY, MARYLAND

SHEET NO.: 00.00 FILE NO.: C2180044\_00\_CO.dwg

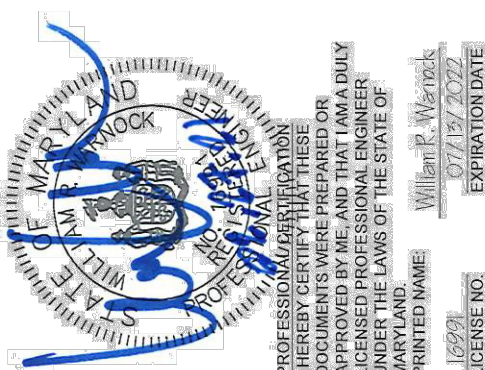
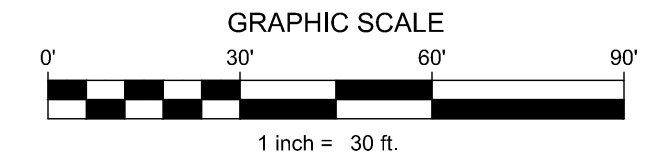
01\_201802180044\_Mid-Atlantic Real Estate\_Brown Prop\_wvw\CAD\ENG-Production\Preliminary\Major Site Plan\C2180044\_03\_SP.dwg.....Tab.03.00

PLOTTED: Feb 27, 2021 - 5:20pm



PROPOSED SITE PLAN  
SCALE 1" = 30'

NOTE: THE ENTIRE SITE WILL BE SUBJECT TO A SHARED ACCESS AND PARKING COVENANT.



REV. #	DATE	DESCRIPTION

**McCRONE**  
 ENGINEERS • SURVEYORS • PLANNERS  
 ANNAPOLIS • CENTREVILLE • ELKTON • SALISBURY • DELAWARE

20 RIDGELY AVE  
 ANNAPOLIS, MARYLAND 21401  
 (410) 291-9661  
 www.mccrone-engineering.com  
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DATE:	FEBRUARY 2021
JOB NUMBER:	C2180044
SCALE:	AS SHOWN
DRAWN BY:	LSB, CCV
DESIGNED BY:	LSB, WRW
APPROVED BY:	WRW

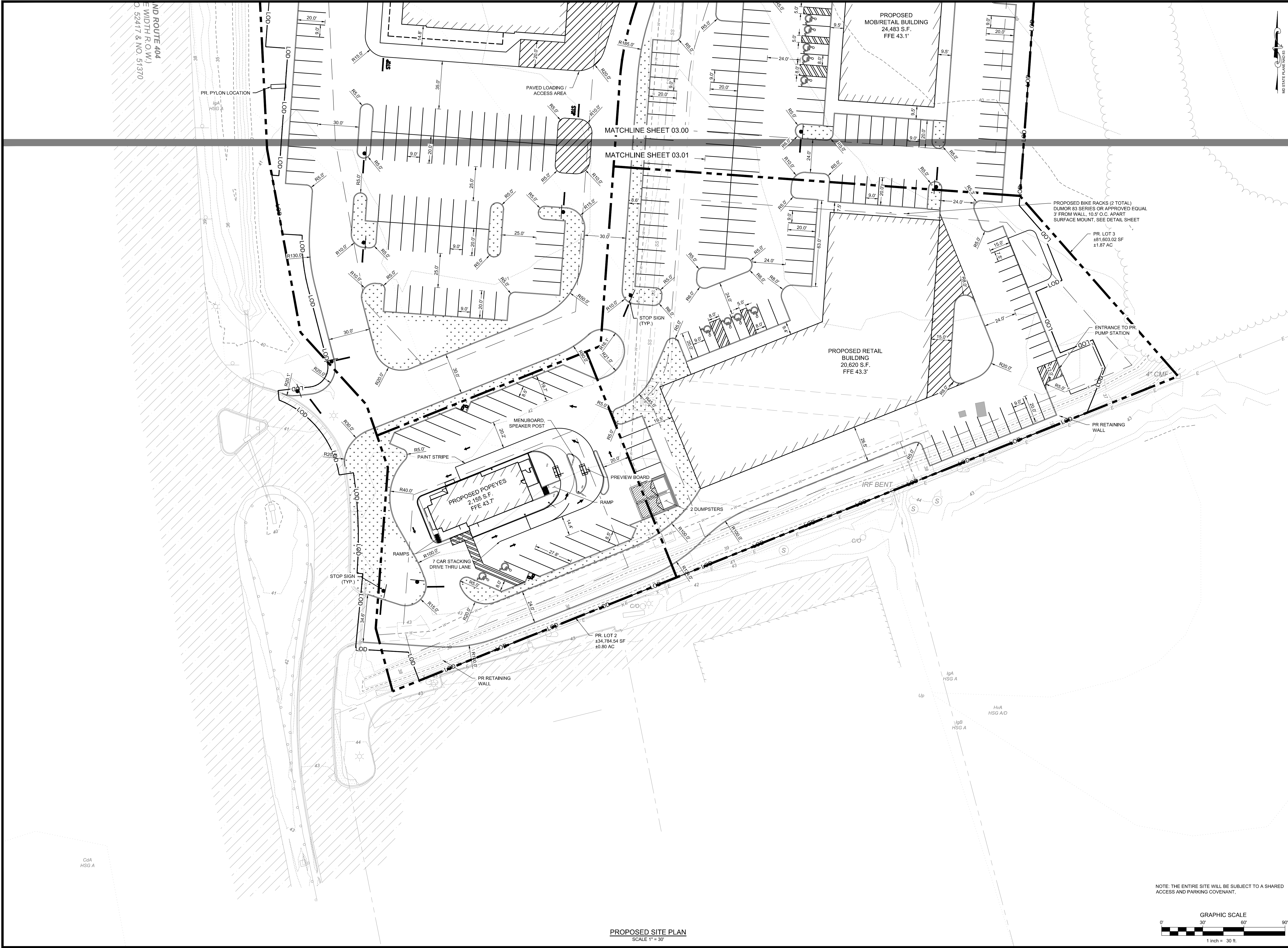
**SITE LAYOUT PLAN**

FOR:  
**NEW RETAIL BUILDINGS - DENTON PLAZA II**

DEVELOPER: MID-ATLANTIC REAL ESTATE INVESTMENTS, INC.  
 OWNER: 5001 SHR LC  
 TOWN OF DENTON, 3RD ELECTION DISTRICT  
 TAX MAP 105, GRID 23, PARCEL 2385  
 CAROLINE COUNTY, MARYLAND

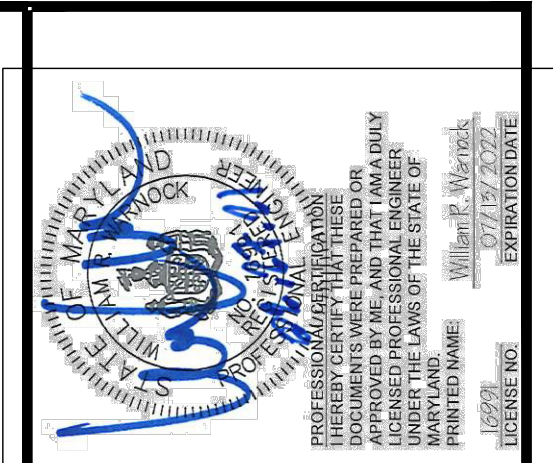
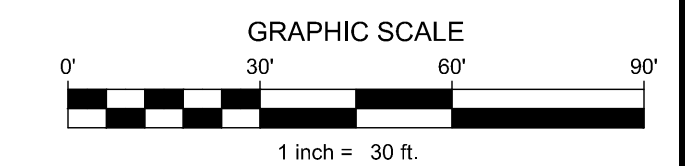
SHEET NO.: **03.00**

FILE NO.:  
 C2180044\_03\_SP.dwg



**PROPOSED SITE PLAN**  
SCALE 1" = 30'

NOTE: THE ENTIRE SITE WILL BE SUBJECT TO A SHARED ACCESS AND PARKING COVENANT.



REV. #	DATE	DESCRIPTION

**McCRONE**  
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20 RIDGELY AVE  
ANNAPOLIS, MARYLAND 21401  
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www.mccrone-engineering.com

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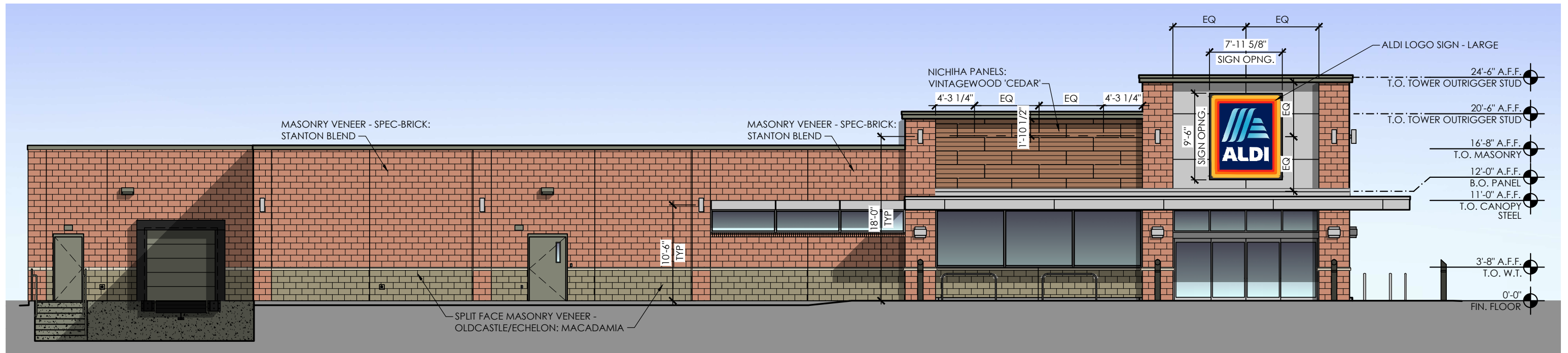
DATE:	FEBRUARY 2021
JOB NUMBER:	C2180044
SCALE:	AS SHOWN
DRAWN BY:	LSB, CCV
DESIGNED BY:	LSB, WRW
APPROVED BY:	WRW

**SITE LAYOUT PLAN**

FOR:  
**NEW RETAIL BUILDINGS - DENTON PLAZA II**  
DEVELOPER: MID-ATLANTIC REAL ESTATE INVESTMENTS, INC.  
OWNER: 5001 SHR LC  
TOWN OF DENTON, 3RD ELECTION DISTRICT  
TAX MAP 105, GRID 23, PARCEL 2385  
CAROLINE COUNTY, MARYLAND

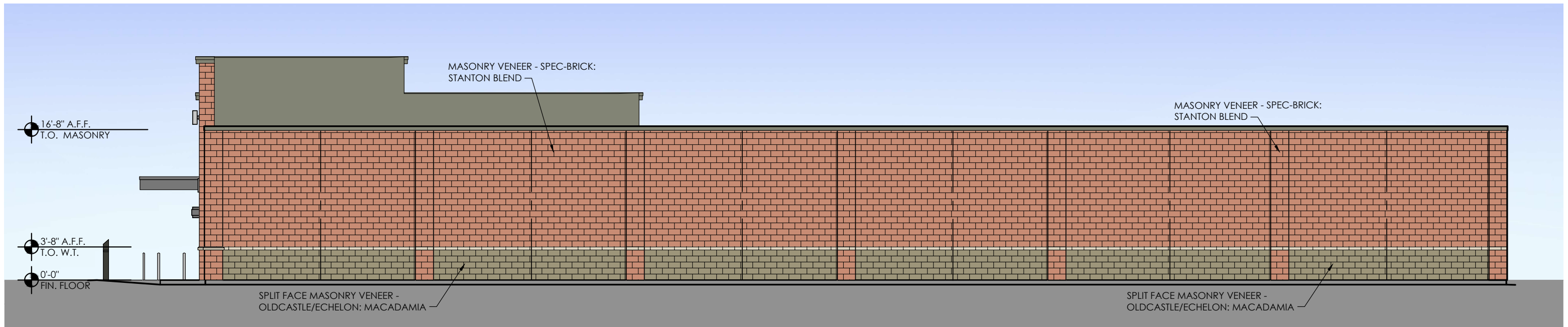
SHEET NO.: **03.01**

FILE NO.:  
C2180044\_03 SP.dwg



**1 - NORTH ELEVATION**

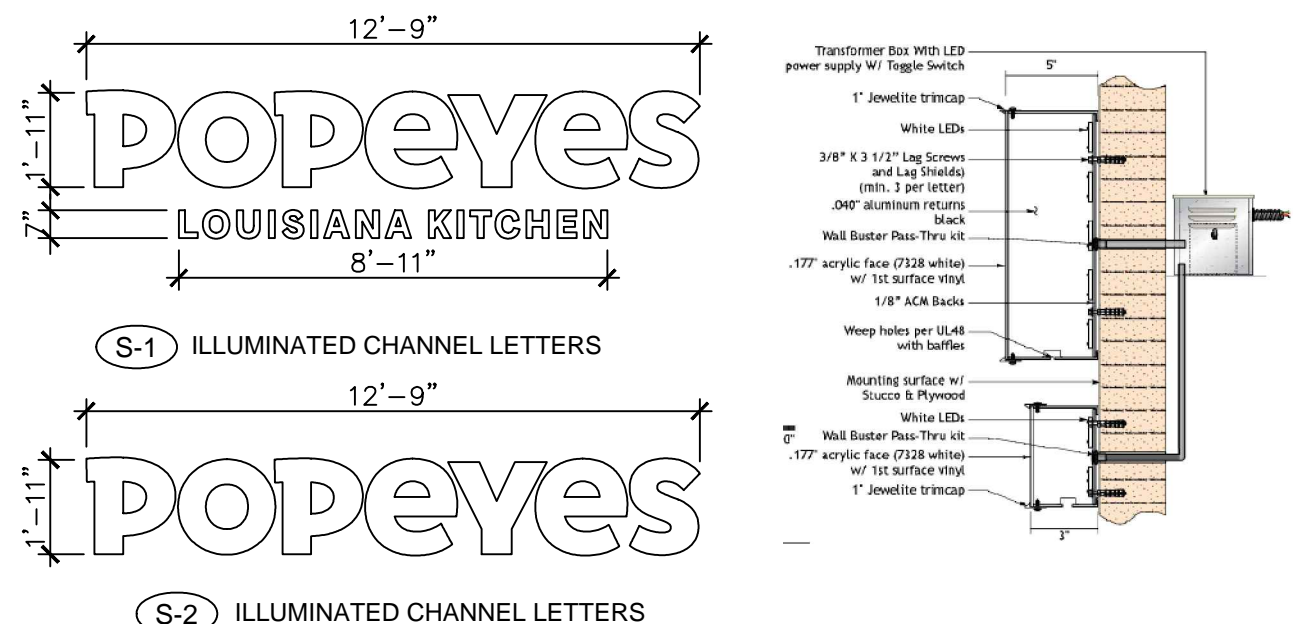
Scale: 3/32" = 1'-0"



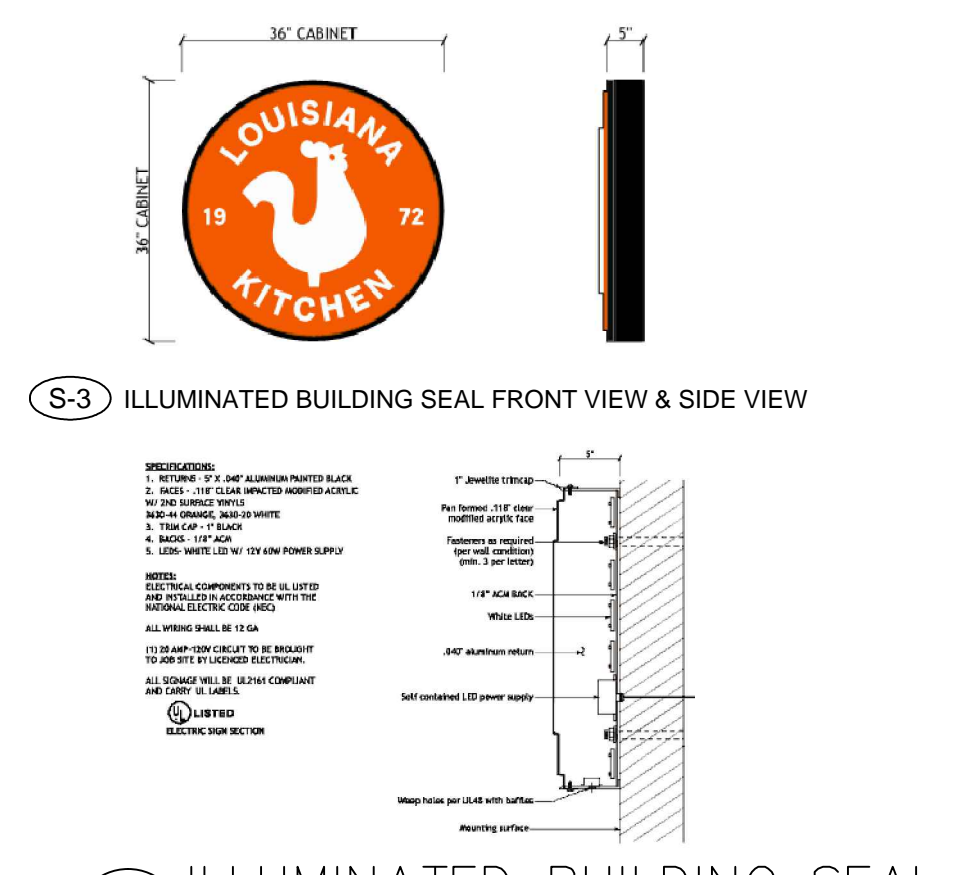
**2 - SOUTH ELEVATION**

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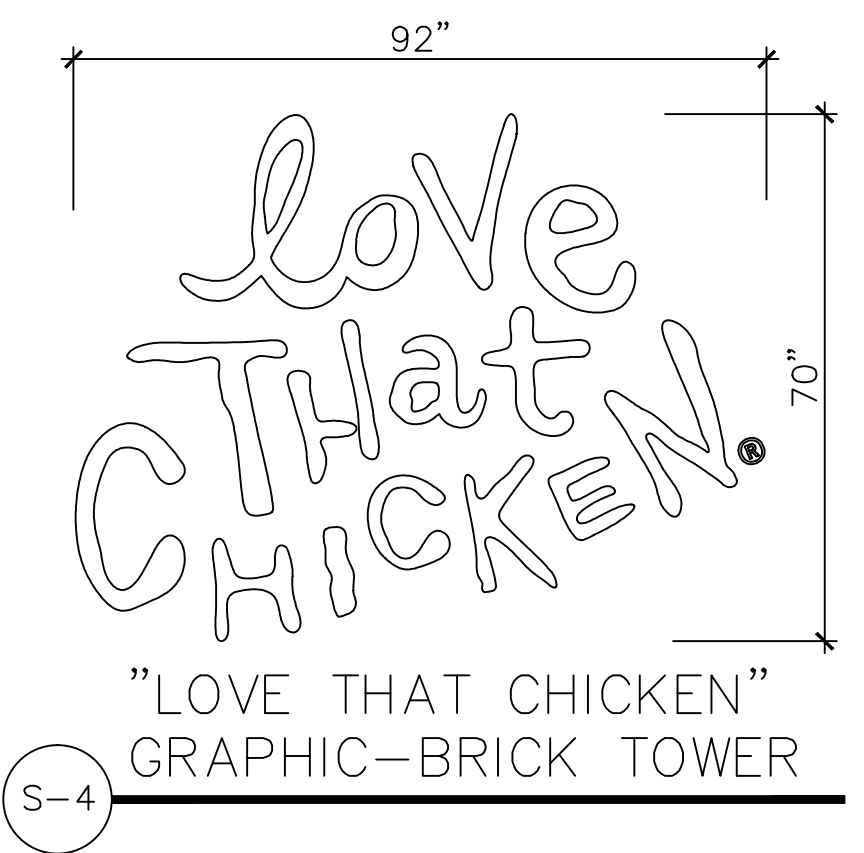
THIS DRAWING IS COPYRIGHTED AND PROTECTED UNDER THE LAWS OF THE UNITED STATES OF AMERICA. ANY UNAUTHORIZED USE OR REPRODUCTION OF THIS DOCUMENT WITHOUT WRITTEN CONSENT OF ROBERT A. GRIMALDI IS AN INFRINGEMENT UPON COPYRIGHT LAWS. VIOLATORS WILL BE SUBJECT TO PROSECUTION BY THE FULL EXTENT OF THE LAW.



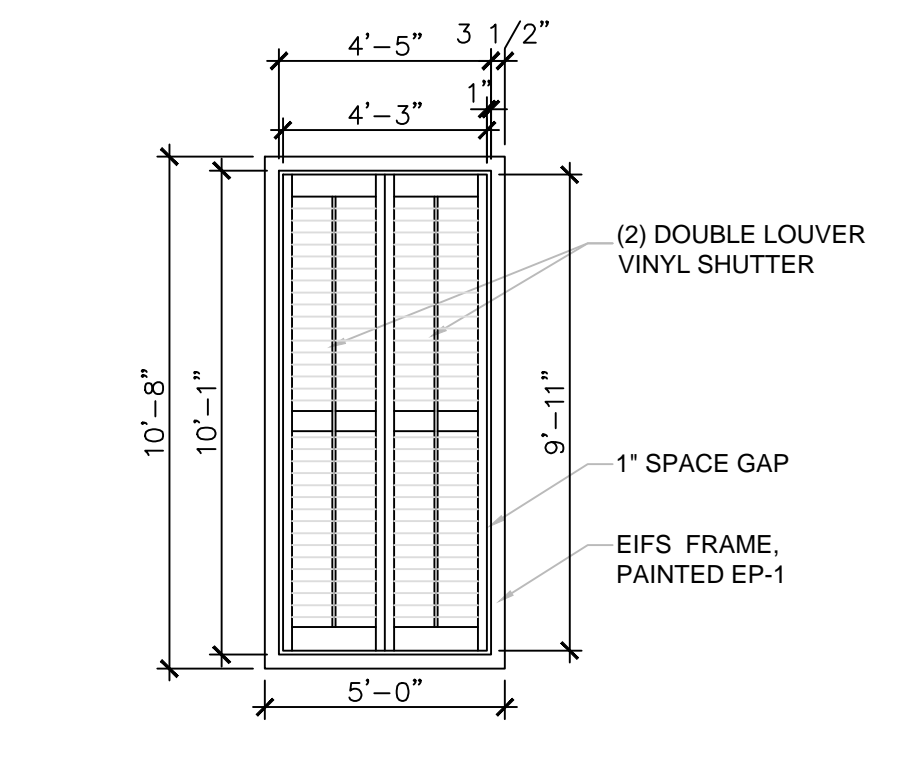
S-1 S-2 ILLUMINATED CHANNEL LETTERS  
FRONT VIEW & SIDE VIEW



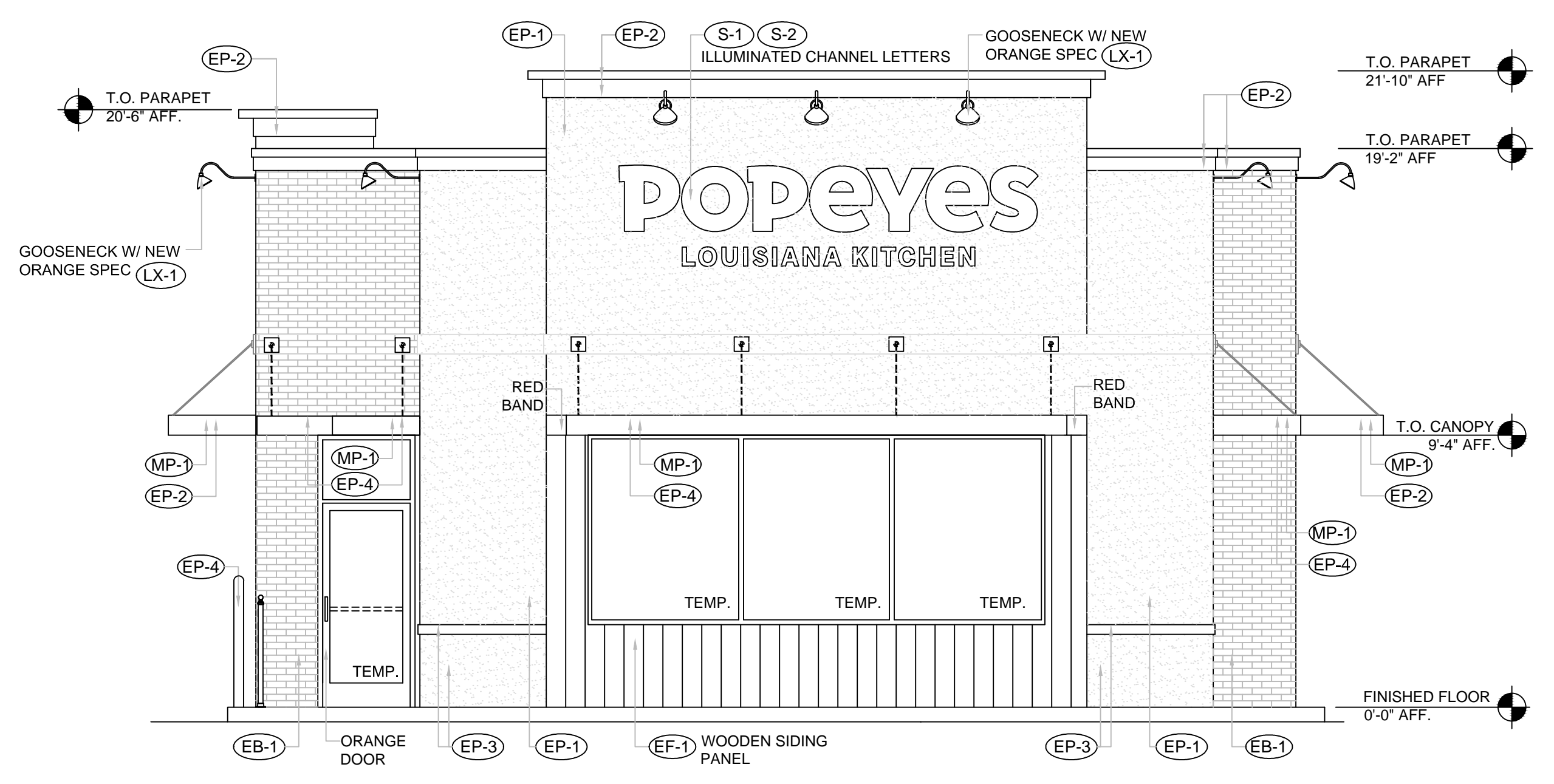
S-3 ILLUMINATED BUILDING SEAL  
FRONT VIEW & SIDE VIEW



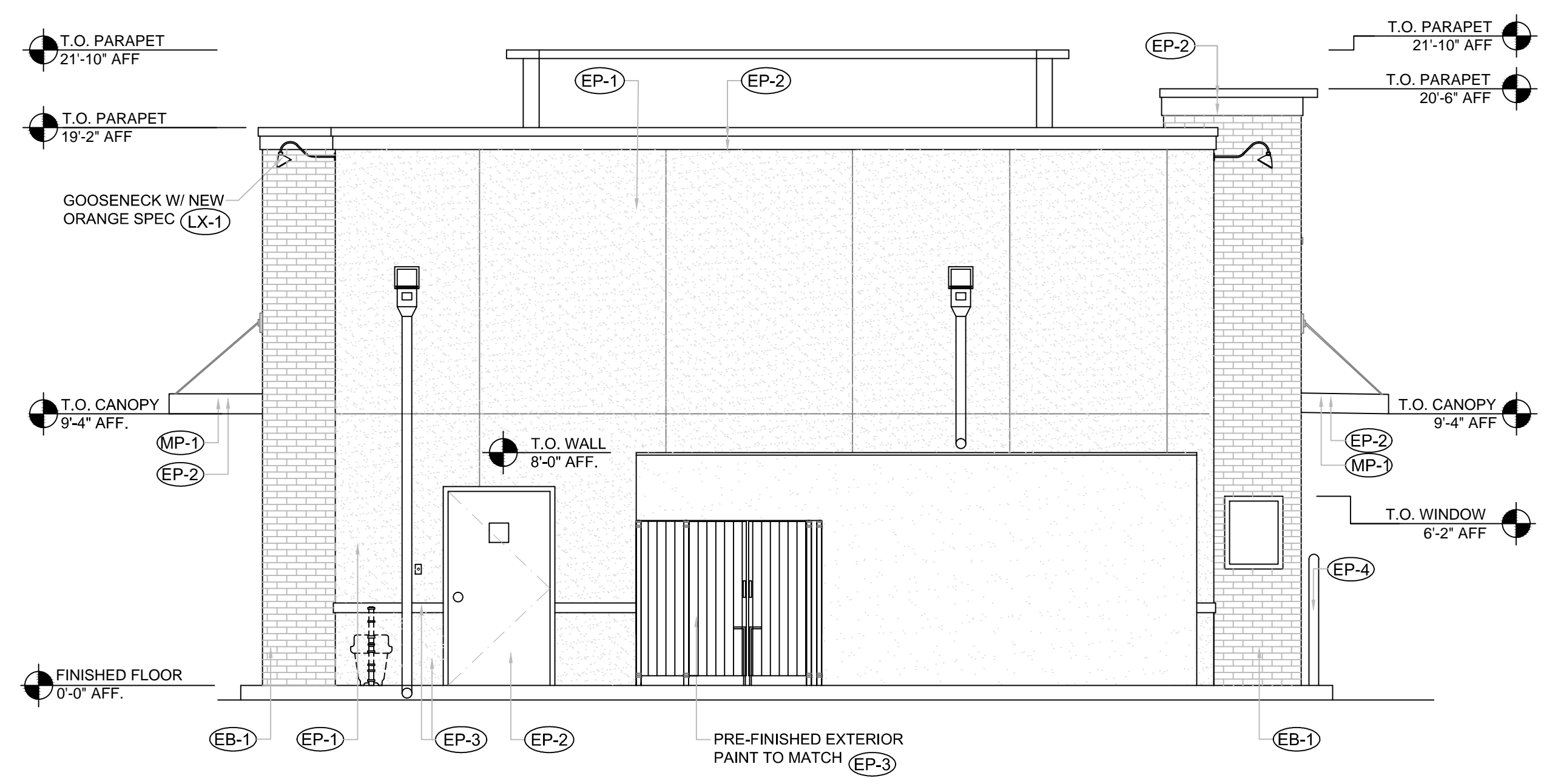
S-4 "LOVE THAT CHICKEN"  
GRAPHIC-BRICK TOWER



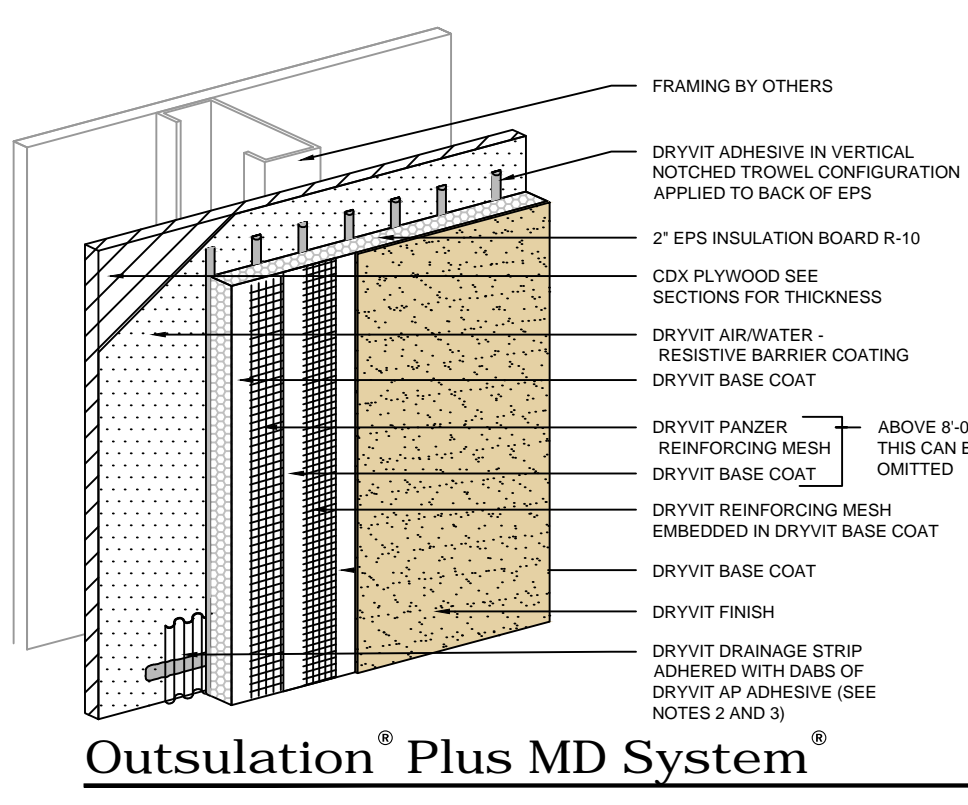
4 SHUTTER DETAIL  
1/4"=1'-0"



1 PROPOSED FRONT ELEVATION  
1/4"=1'-0"



2 PROPOSED REAR ELEVATION  
1/4"=1'-0"



3A TYP. EIFS DETAIL  
A5 NTS



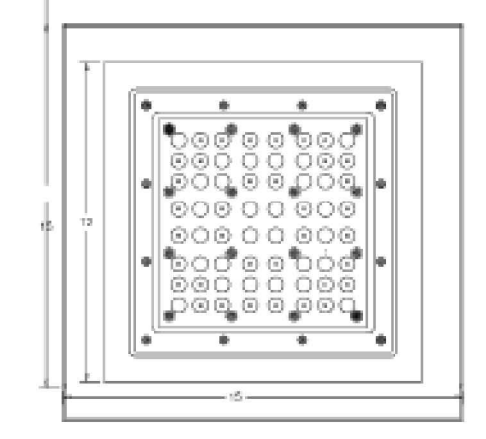
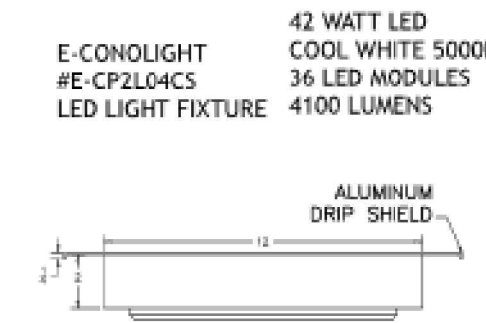
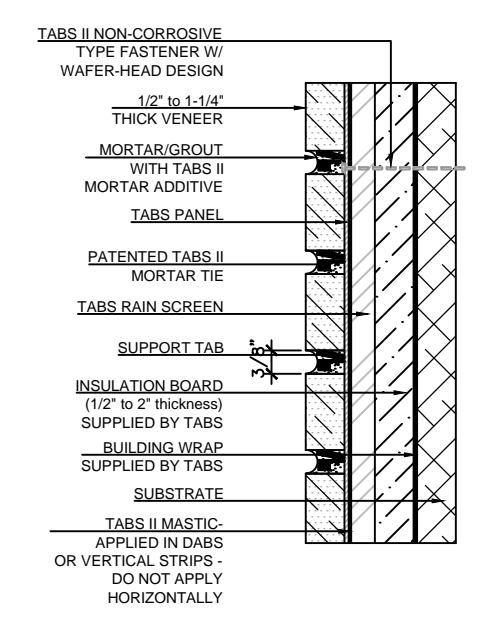
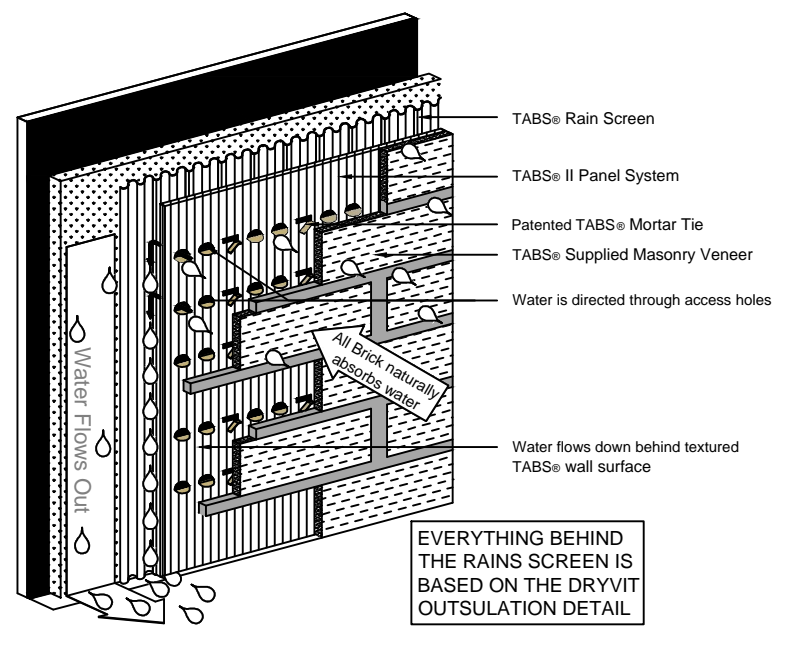
3B TYP. BRICK DETAIL  
A5 NTS

- NOTE:**
1. DRYVIT RECOMMENDS THAT GROUND FLOOR APPLICATIONS AND ALL FACADES EXPOSED TO ABNORMAL STRESS, HIGH TRAFFIC, OR DELIBERATE IMPACT HAVE THE BASE COAT REINFORCED WITH PANZER® MESH PRIOR TO STANDARD OR STANDARD PLUS MESH. LOCATION OF HIGH IMPACT ZONES SHOULD BE INDICATED ON CONTRACT DRAWINGS.
  2. AS AN OPTION DRYVIT DRAINAGE TRACK™ CAN BE USED AT SYSTEM TERMINATION AT GRADE, REFER TO OPMD 0.0.08 FOR CONFIGURATION.
  3. DRYVIT DRAINAGE TRACK SHALL ONLY BE USED AT GRADE LEVEL TERMINATIONS.
  4. 4GC TO BUDGET FOR "MANUFACTURE" DRYVIT TO REVIEW AND SIGN OFF ON THE INSTALLATION AND PROVIDE BOTH MATERIAL AND LABOR WARRANTY FOR THE INSTALLATIONS

PRODUCT DESCRIPTION	TABS II	TABS II PLUS
INTENDED USE	HEAVY DUTY	HEAVY DUTY
QUALITY OF STEEL PANEL	STRUCTURAL GRADE	STRUCTURAL GRADE
NOMINAL PANEL THICKNESS	0.1875 GAUGE	0.1875 GAUGE
CORROSION PROTECTION	G90 HOT DIPPED	G90 HOT DIPPED
PANEL COATING	THERMAL SET	THERMAL SET
EMBOSSED STEEL PANEL	INCLUDED	INCLUDED
STARTER ANGLE	TABS II 18 TO 22 GAUGE	TABS II 18 TO 22 GAUGE
THERMAL INSULATED PROTECTION	R-2.5 TO R-10	R-2.5 TO R-10
PATENTED TABS II TIE SYSTEM	INCLUDED	INCLUDED
MORTAR MIX	TYPE "S"	TYPE "S"
MORTAR ADDITIVE	TABS II	TABS II
ADHESIVE	TABS II NON-CORROSIVE	TABS II NON-CORROSIVE
FASTENERS	FULL 25 YEARS	FULL 25 YEARS
COMPONENT WARRANTY	FULL 50 YEARS	FULL 50 YEARS
PANEL WARRANTY		

INSULATION CHARTS		
VENEER THICKNESS	INSULATION THICKNESS	R-VALUE
1/2" VENEER	UP TO 2"	R-2.5 TO R-10
3/4" VENEER	UP TO 1.5"	R-2.5 TO R-7.5
1" VENEER	UP TO 1"	R-2.5 TO R-5



LX-2 CANOPY LIGHTING  
FRONT VIEW & SIDE VIEW

EXTERIOR FINISH SCHEDULE		
CODE	MATERIAL	DESCRIPTION
EP-1	EXTERIOR PAINT	"WHITE" OC-125 Moonlight White
EP-2	EXTERIOR PAINT	"BLACK" 2120-20 Black Iron
EP-3	EXTERIOR PAINT	"GRAY" HC-170 Stonington Gray
EP-4	EXTERIOR PAINT	"RED" 2086-10 Exotic Red
EF-1	WOODEN SIDING PANEL	CEDAR -Vintage Wood
EB-1	BRICK	FLAGSTAFF
MP-1	METAL PANEL	"BLACK" 2120-20 Black Iron

- EP-1 - EIFS Finish - POPE 08 1020 ST - to match BM OC-125 Moonlight White
- EP-2 - EIFS Finish - POPE 09 1020 S - to match BM 2120-20 Black Iron
- EP-3 - EIFS Finish - POPE 02 1020 S - to match BM 2086-10 Exotic Red

G 141 ARCHITECTURE, LLC

ARCHITECTURE, L.L.C.

ROBERT ANTHONY GRIMALDI  
39 NORTH 11th STREET  
KENILWORTH, NJ 07033  
g141office@gmail.com  
908-347-7419

NCARB 84690  
AIA 38640695

- CT 13585  
DE S5-0008497  
DC AEC103027  
MA 951751  
MD 18745  
NJ AI 15475  
NH 04842  
NY 039330  
OH ARC.2018210  
PA AR07639  
VA 0401019058

POPEYES  
LOUISIANA KITCHEN

POPEYES LOUISIANA KITCHEN  
1, 2, 3 MAIN STREET  
USA

PROPOSED EXTERIOR ELEVATION

Revisions

△ :  
△ :  
△ :  
△ :  
△ :

Drawn By MHS Checked By RAG  
Scale AS NOTED Date 2021-x-x  
Job No. 21-00000  
Sheet No. PB-2